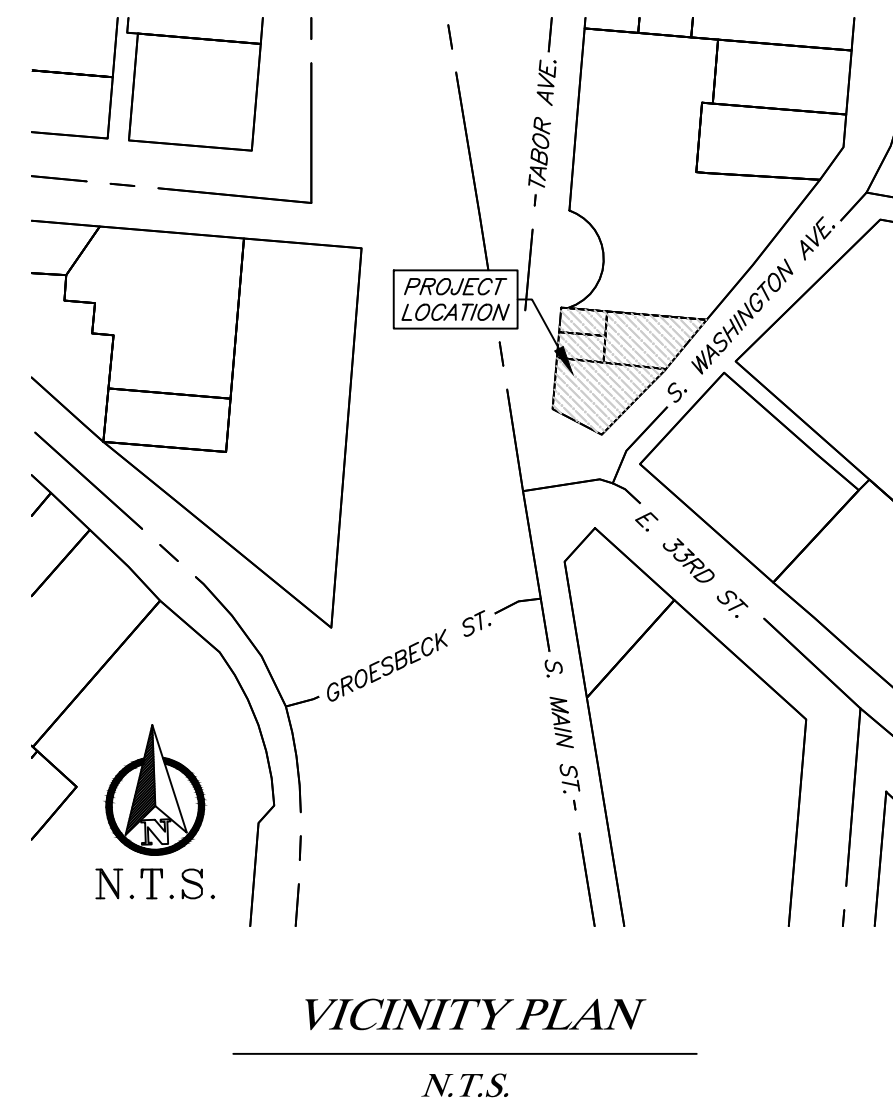


Piccino

717 South Main Street
Bryan, Brazos County, Texas



OWNER/DEVELOPER:

NN Out Properties, LLC
105 North Main Street
Bryan, Texas 77802

ENGINEER:



Firm # 9951
PO Box 5192
Bryan, Texas 77805
979-739-0567

Sheet List Table	
Sheet Number	Sheet Title
C1	Notes
C2	Site Plan
C3	Grading & Pavement Plan
SW	Sidewalk Details



Know what's below.
Call before you dig.

**Preliminary Plans Only
Not for Construction**

This document is released for the purpose of interim review under the authority of Glenn Jones, P.E. 97600 on May 04, 2022. It is not to be used for construction, bidding, or permitting purposes.

Released for Review

May 2022

General Notes:

- 1. The contractor shall promptly notify the engineer of any discrepancies between these plans and other drawings of differing disciplines & specifications.
2. The contractor is specifically cautioned that the location and/or elevation of the existing utilities as shown on these plans is based on records of the various utility companies...
3. Contractor to verify all underground utilities in the field prior to construction.
4. It is the responsibility of the contractor to comply with all state and federal regulations regarding construction activities near energized over head power lines.
5. The contractor shall be responsible for the protection of all existing utilities or service lines that are crossed or exposed during construction operations.
6. During the execution of the work, the contractor shall maintain the project site in an orderly and acceptable manner as far as practical.
7. Contractor is responsible for OSHA established trench safety as described in the Federal Register 29 CFR Part 1926.
8. A copy of the approved construction plans shall be kept on site at all times throughout the entire construction of the project.
9. The contractor shall be responsible for safeguarding and protections all material and equipment stored on the jobsite.
10. Contractor to store materials at location(s) approved by & coordinated with the owner.
11. Contractor shall saw cut, remove, and replace pavement, and curb & gutter as required to construct proposed improvements.
12. It shall be the responsibility of the contractor to pay for and obtain all required permits and inspection approvals for all work shown.
13. Any adjacent property and right-of-way disturbed during construction will be returned to their existing condition or better.
14. All exposed dirt surfaces shall be seeded, hydro-mulched, or sodded.
15. The contractor shall not create a dirt nuisance or safety hazard in any street or driveway.
16. Adequate drainage shall be maintained at all times during construction and any drainage ditch or structure disturbed during construction shall be restored to existing conditions or better.
17. The contractor shall coordinate all fence removal and replacement with the Owner.
18. The contractor shall protect all monuments, iron pins, and property corners during construction.
19. The contractor must provide construction staking from the information provided on the plans.

General Utility Note (Private & Public):

- 1. All excavation for underground utilities shall be made true to grade. Excavation shall be made a minimum of six inches below the required grade and provide a sand bed for the piping. Backfill over piping shall be made with earth or fill sand, free of debris, and shall be tamped by hand or mechanical means to the density of the adjacent undisturbed earth or to 95% standard proctor density (ASTM D698), which ever is greater.
2. Minimum bury or cover specified is to be measured from finish grades. Where utility line extend under pavement, the bury or cover shall be measured from the bottom of the structure.
3. Utility installations in non-structural areas shall be bedded and initial backfill consistent with non-structural requirements. In structural areas (i.e. under foundations, pavement, walks, etc.) the utility shall be bedded and initial backfill with cement stabilized sand.
4. Regardless of elevations shown for manhole rims, clean-out covers, or grates, these items shall be placed flush with the pavement elevations and slopes.
5. Contractor shall uncover existing utilities at all "points of interest" to determine if conflicts exist before commencing and construction.
6. The contractor shall coordinate all utility installation so that grade critical elements (i.e. storm drain, sanitary sewer, etc.) do not conflict with non-grade critical elements (i.e. electrical conduit, water services, etc.).
7. The contractor shall furnish all materials, equipment, and labor for excavation, boring, installation, and backfilling of utility lines and relates appurtenances, as shown on the plans.
8. The loading and unloading of all pipe and other accessories shall be in accordance with the manufacturer's recommended practices and shall, at all times, be performed with care to avoid any damage to the material.
9. Contractor shall be responsible for coordinating all connections to public systems and installations with regulatory inspector.
10. This project shall be built by means of open cut except as noted on the drawings. If needed, contractor shall determine the locations of bore pits in the field subject to the inspector's approval.
11. Structural backfill will be required for all excavation within 5 feet of public roadway pavements or walks.

Private Utility Notes:

- 1. The contractor shall install the proposed private utility lines in accordance with local codes, latest national plumbing code, and all applicable state and local laws.
2. It shall be the responsibility of the contractor to pay for and obtain all required permits and inspection approvals for all work shown.
3. The contractor shall coordinate all installations of service lines, conduits, meters, etc., with the appropriate utility company.

Water Line Notes (Public & Private):

- 1. All private domestic water line pipe shall be constructed out of PVC (Sch 40). Public or fire water line pipe shall be constructed out of C900 and public services shall be copper.
2. All 24 inch to 42 inch storm sewer pipe, shall be constructed out of reinforced concrete pipe (RCP), C443 ASTM C76, Class III except as noted.
3. Contractor shall provide a minimum of 12 inch clearance at storm sewer and water line crossings and a minimum of 6 inch clearance at storm sewer and sanitary sewer crossings.
4. Unless otherwise specified, the contractor shall install all storm sewer pipe in accordance with the trench detail contained in these construction drawings.
5. All private storm sewers shall be inspected & approved by the building official.

Demolition & Construction Notes:

- 1. Demolition of existing structures and improvements shall include all work contained on these plans, but shall not be limited to the items specially identified. Any materials to be demolished or cleared shall be completely removed and disposed of.
2. It shall be the responsibility of the contractor to stage and sequence all demolition work with utility companies to provide minimal interruption and inconvenience of utility services.
3. Demolished surplus material shall be legally disposed of off-site.
4. All pavement edges, bounding the construction area & matching with new construction, shall be neatly saw cut, unless gravel. Flexible pavement shall be saw cut a minimum of 24" beyond any proposed structures.
5. The contractor shall field verify and locate all existing utilities on site prior to demolition.
6. The contractor shall perform demolition activities as noted and shown on these plans and as directed by the owner/ developer.
7. It shall be the responsibility of the contractor to obtain any permits and pay any fees required for demolition and disposal from the appropriate authorities.
8. The contractor shall install all erosion and sediment control devices prior to commencing demolition work.
9. The contractor is responsible for the protection of all utilities that are to remain in place.
10. The contractor shall take all precautions to avoid damage to any existing road surface.
11. All existing items that are to remain in place which are damaged during construction shall be restored to original condition, or better, at the sole expense of the contractor.
12. Should any existing utilities not shown or shown incorrectly on this plan be found on site, the contractor shall contact the engineer immediately to discuss any possible conflicts before proceeding with any work in that area.
13. An asbestos survey must be performed prior to the demolishing of any structures. The contractor shall adhere to the requirements set forth in the asbestos survey and report.

Dimensional Control Notes:

- 1. The contractor may obtain an electronic copy of these plans for construction purposes. The electronic file and information generated, by J4 Engineering (J4E), for this project is considered by J4E to be confidential.
2. All dimensions shown are to be used in conjunction with these plans for locating all improvements and shall be field verified by the contractor for workability prior to construction of improvements.
3. Unless otherwise shown, all dimensioning is to the back of curb or edge of pavement, which ever is applicable.

Grading Notes:

- 1. All unpaved areas shall be adequately graded to drain at a minimum of 1.00% slope, unless otherwise noted, so that no ponding occurs.
2. Unless otherwise specified, unpaved areas shall drain away from buildings so that the perimeter curb is a minimum 6" lower than the finished floor.
3. Finish grade adjacent to curbing or sidewalk shall be 1/2" below the top of concrete and 2" below in landscaping areas.
4. When top of curb elevations are shown, the curb height is 6" unless otherwise specified.
5. The contractor shall follow the general intent of the grading plans. Minor adjustments to the actual elevations shown on the grading plan may be required to match existing ground elevations and structures.
6. Adequate drainage shall be maintained at all times during construction and any drainage ditch or structure disturbed during construction shall be restored to existing conditions or better.
7. The approval of these plans is not an authorization to grade adjacent properties. When field conditions warrant off-site grading, permission must be obtained from the affected property owner(s). Any adjacent property and right-of-way disturbed during construction will be returned to there existing conditions or better.

Erosion Control Notes:

- 1. Erosion control measures shown in these plans shall be considered the very minimum required. It shall be the responsibility of the contractor to implement all other erosion control measures (diversion berms, drainage structures, swales, additional fencing, etc.) necessary to keep the existing improvements and developments from damage of any kind, during all phases of demolition and construction.
2. The site operator, or his representative established by a letter of delegation, shall make a visual inspection of all siltation controls and newly stabilized areas on a daily basis; especially after a rainfall to insure that all controls are maintained and properly functioning.
3. All sediment trapping devices shall be installed as soon as practical after the area has been disturbed.
4. During construction, contractor shall maintain Best Management Practice (BMP). Sediment fence, hay bale barriers, or other devices shall control all storm water leaving the site.

- 5. The contractor shall be responsible for establishing temporary erosion control measures as required for different phases of construction.
6. Phase II erosion control measure measures shall be implemented immediately after construction of their associated improvements. Inlet protection barriers shall be constructed with hay bales or silt fencing.
7. The contractor is responsible for removing sediment control devices after the site has been seeded and/ or sodded, and ground cover has taken root.
8. The contractor shall take all necessary measures to ensure that all disturbed areas are stabilized. Designated areas shall be block sodded and all other areas disturbed due to construction shall be hydro-mulched seeded.
9. When hydro-mulching is required, contractor shall keep mulch moist after installation and until area shows growth.
10. Erosion control measures shall be implemented prior to any excavation or demolition work.

Sidewalk Construction

- 1. Sidewalks shall be doweled into and tie to any concrete structure adjacent to sidewalk (driveway, inlet box, curb) #4 x 12" bars @ 18" O.C.
2. ADA ramps shall be constructed per the ambulatory ramp details on the pavement plan shown in these plans.

Paving Notes:

- 1. The pavement system shown was designed without the aid of a geotechnical investigation.
2. Sub-grade
a. Existing trees, stumps, and large tree systems, shall be grubbed and removed.
b. Paving areas shall be proof-rolled with a 20 ton roller and, if required at the time of construction, the contractor shall stabilize weak areas by over excavation and backfilling.
c. Materials excavated on site, excluding the top 6 inches, may be used as fill material, under pavement areas only.
d. Fill material shall be placed in eight inch maximum loose lifts, with each lift wetted or dried to a moisture content range of 0% to +3% of the optimum moisture content and compacted to a uniform density of 95% for non-structural and 98% for structural areas.
e. Compaction test, for fill, shall be verified by in-place density test for each lift.
3. Asphalt
a. All asphalt paving shall be hot-mix asphalt cement (HMCA), Type D P64-22, in accordance with TxDOT Item #340.
b. No more than 20% RAP shall be used with HMCA mix design.
c. Limestone base shall be prime coating with RC-250, MC-30, CRS-1P/2P, or approved equal in accordance with TxDOT Item #300 and Item #310.

Portland Cement Concrete

- a. All concrete, unless otherwise specified, shall have a minimum compressive strength of 3,500 psi at 28 days for pavement and 3,000 psi at 28 days for non-pavement applications.
b. All concrete shall be vibrated when placed and not raked a distance greater than 10 feet.
c. Unless otherwise noted, joint spacing shall not exceed 15 feet in any direction to another joint or edge of pavement.
d. Expansion joints shall not exceed a maximum spacing of 45 feet and should not be placed through the middle of manhole inlets or junction boxes.
e. All joints shall be sealed with Sonoborn Sonolastic SL-1, or an approved equal.
f. Concrete shall not be placed if the air temperature is 50° F and falling or 95° F or higher.
4. Steel
a. All reinforcing steel shall be deformed billed steel bar having a minimum yield strength of not less than 60 KSI conforming to ASTM A615, Grade 60.
b. All reinforcing steel shall be free from rust or other bond reducing agents.
c. All splices in pavement and curbing steel shall be staggered and lapped 30 times the bar diameter or 12 inches, whichever is greater.
d. Concrete coverage for the reinforcing steel shall comply with the ACI code, latest edition.

Gas Company Notes:

- 1. At all underground gas utility crossings, the contractor shall give the appropriate utility company a minimum of 72 hours notice so that their field representative may be present.

- 2. Eighteen (18) inch clearance shall be maintained between the proposed utility and the existing underground gas line.
3. For excavation near the underground gas line(s), the contractor shall cover, or remove, the bucket teeth of the excavator.

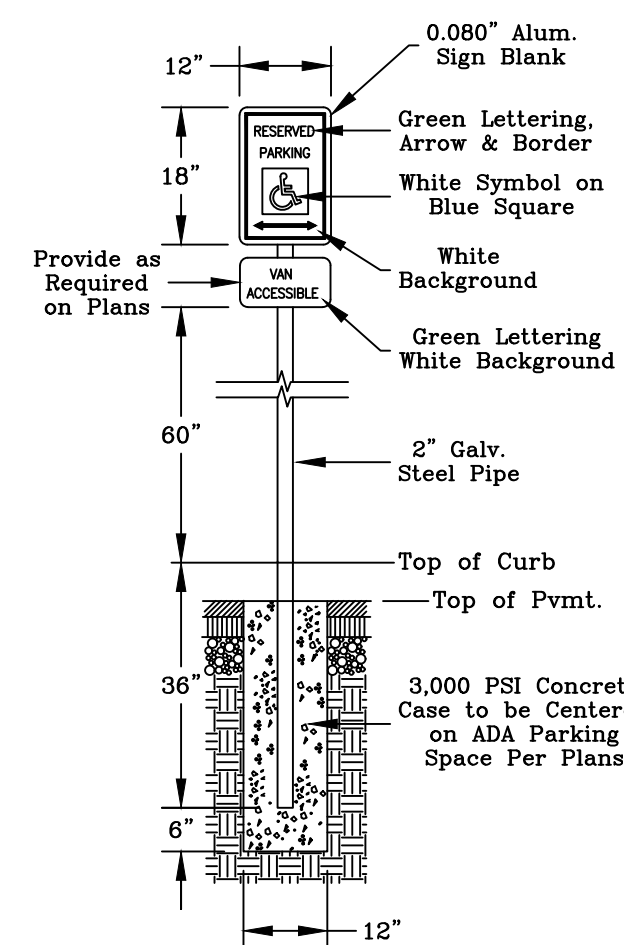
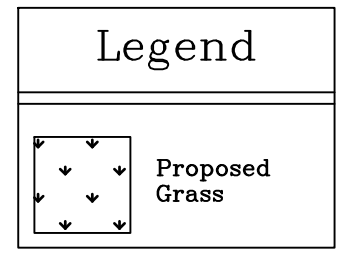
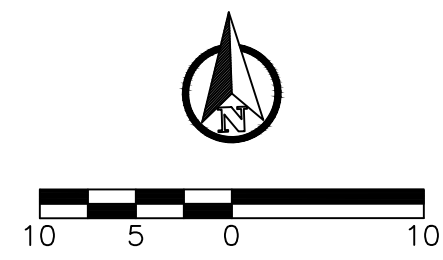
Traffic Control Notes:

- 1. Contractor shall provide and install traffic control devices in conformance with part VI of the Texas Manual on Uniform Traffic Control Devices (Texas MUTCD, most recent edition with revisions) during construction.
2. Lane closure will not be allowed unless approved by the TxDOT or COB representative, as applicable.
3. The work shall be completed such that the roadway will be fully opened to traffic overnight.
4. Plastic drums shall be used for overnight delineation of off roadway work areas.

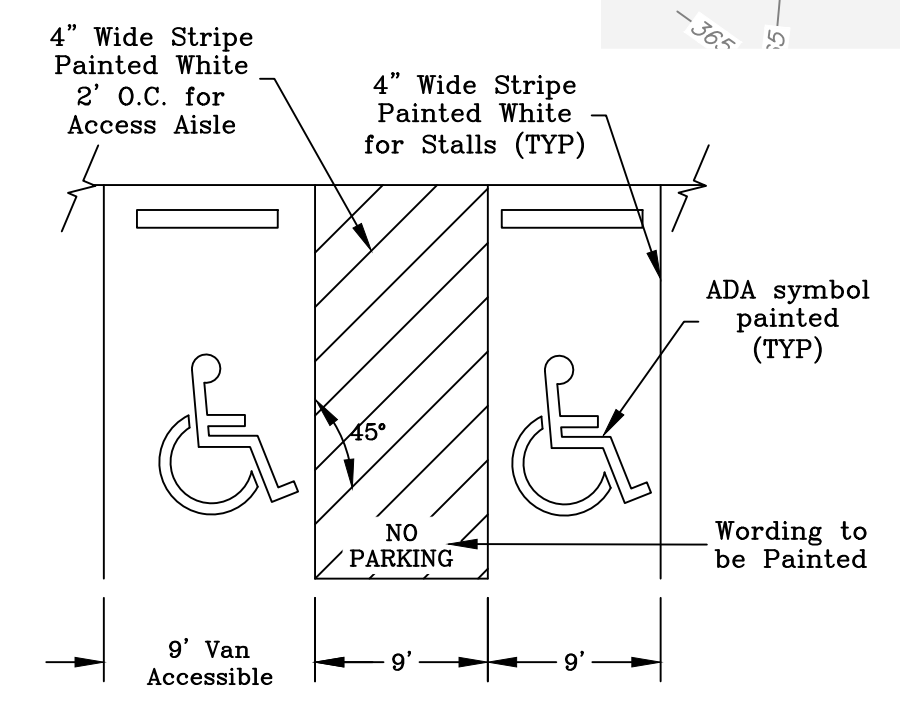
Legend
Line Types
W-B Existing Water Line, Size Noted
W-B Proposed Water Line, Size Noted
W Existing Water Service
W Proposed Water Service
S-B Existing Sanitary Sewer Line, Size Noted
S-B Proposed Sanitary Sewer Line, Size Noted
S Existing Sanitary Sewer Service
S Proposed Sanitary Sewer Service
Existing Storm Sewer Piping
Proposed Storm Sewer Piping
GAS Existing Natural Gas Line
GAS Proposed Natural Gas Line
UE Existing Underground Electrical Line
UE Proposed Underground Electrical Line
AE Existing Aerial Electrical Line
AE Proposed Aerial Electrical Line
T Existing Underground Telephone
T Proposed Underground Telephone
Existing Contour, Elevation Noted
Proposed Contour, Elevation Noted
Existing Easement
SILT Silt Fence
Existing Chain Link Fence
Proposed Chain Link Fence
Existing Wire Fence
Existing Board Fence
Proposed Board Fence
Symbols
Hydrant
Water Valve
Water Manhole
Water Meter
Phone Pedestal
Sign
Storm Grate Inlet
S.E.T.
Sewer Manhole
Sewer Clean-Out
Mail Box
Power Pole
Abbreviations
TP Top of Pavement
TC Top of Curb
TG Top of Ground
TW Top of Walk
TI Top of Inlet
TR Top of Wall
FL Flow Line
MH Man Hole
Min Minimum
Max Maximum
N.T.S. Not to Scale
PI Point of Inflection
PT Point of Tangency
PC Point of Curvature
Sch Schedule
R.O.W. Right of Way
W/ With
W/OUT With Out
S.E.T. Sloped End Treatment
BM Bench Mark
TBM Temporary Bench Mark
SY Square Yard
LF Linear Foot
CO Clean Out
O.C. On Center
O.C.E.W. On Center Each Way
PSI Pounds per Square Inch
PVC Polyvinyl Chloride
RCP Reinforced Concrete Pipe
PVT Pavement
H Horizontal
V Vertical

Notes
General Notes:
Preliminary Plans Only
Not for Construction
Released for Review
Firm Name and Address:
J4 Engineering
717 Main Street
S.M. Hunter's Re-Division
Block 1 Lot 13R
0.2007 Acres
Bryan, Brazos County, TX
Project Name and Address:
Piccino
7/4/2022
Date: May 2022
Scale: As Noted
Sheet: C1

J4 Engineering
Piccino-Site Plans.dwg
5/4/2022
J4E Project # 22-023



ADA Parking Sign
N.T.S.



ADA Pavement Markings
N.T.S.

Landscape Notes:

- All trees shall be provided as container grown trees.
- All landscaping plant material shall be guaranteed for a period of thirty days from the date of installation by contractor. After thirty days, the owner will be responsible for maintenance of all landscaping.
- The property owner is responsible for regular weeding, mowing, fertilizing, and other maintenance of all plantings following acceptance from Contractor. The required landscaping must be maintained in a healthy, growing condition at all times.
- Plant material shown here is represented at its mature size. Plantings to be installed will be significantly smaller than those shown and should not be expected to reach maturity for several years dependant on growing conditions.
- Contractor is required to seed 100% of areas left unpaved and guarantee coverage of vegetation until establishment of grass. Grass type shall be Bermuda grass or Rye/Bermuda mixture.
- All water meters, hydrants, valves, manholes, and cleanouts, on or adjacent to the property, must remain accessible during construction and upon the completion of necessary grading and landscaping.
- "Cal." indicates caliper at 12" above the ground. Multi-trunk trees' caliper is measured with the single, largest cane.
- New trees planted for landscape credit shall be at least 8-feet in height, 2 1/2 inches in caliper and a minimum of 75% having year round foliage.
- All plant material shall be watered by hose bibs located at each corner of building. No irrigation system is proposed.

Parking Analysis:

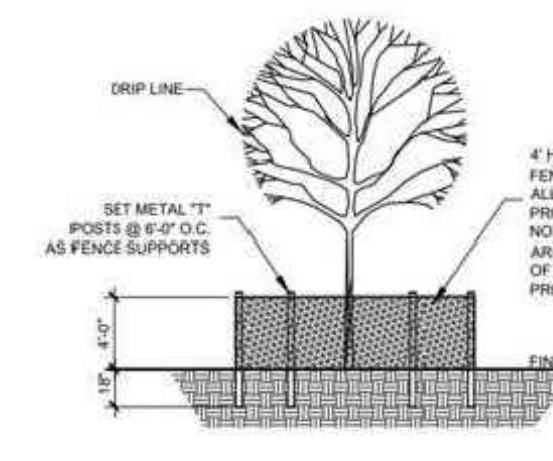
Proposed Building:	2,400 SF Office Space
Required Parking:	8... 1 Space per 300 SF Office Space
8... Total Required	
Provided Parking:	7... Straight in Parking 1... ADA Parking w/ Van Accessible
8... Total Provided	

Landscape Analysis:

Construction Activities:	
Parking & Pavement	= 5,570 SF
Buildings	= 2,400 SF
Net Total	= 7,970 SF
Requirements:	
Building, Parking, & Pavement	= 1,196 SF
7,970 SF @ 15%	= 1,196 SF
Net Total	= 1,196 SF
Provided:	
Canopy Trees	4 @ 200 SF = 800 SF
Shrubs	80 @ 10 SF = 800 SF
Net Total	= 1,600 SF

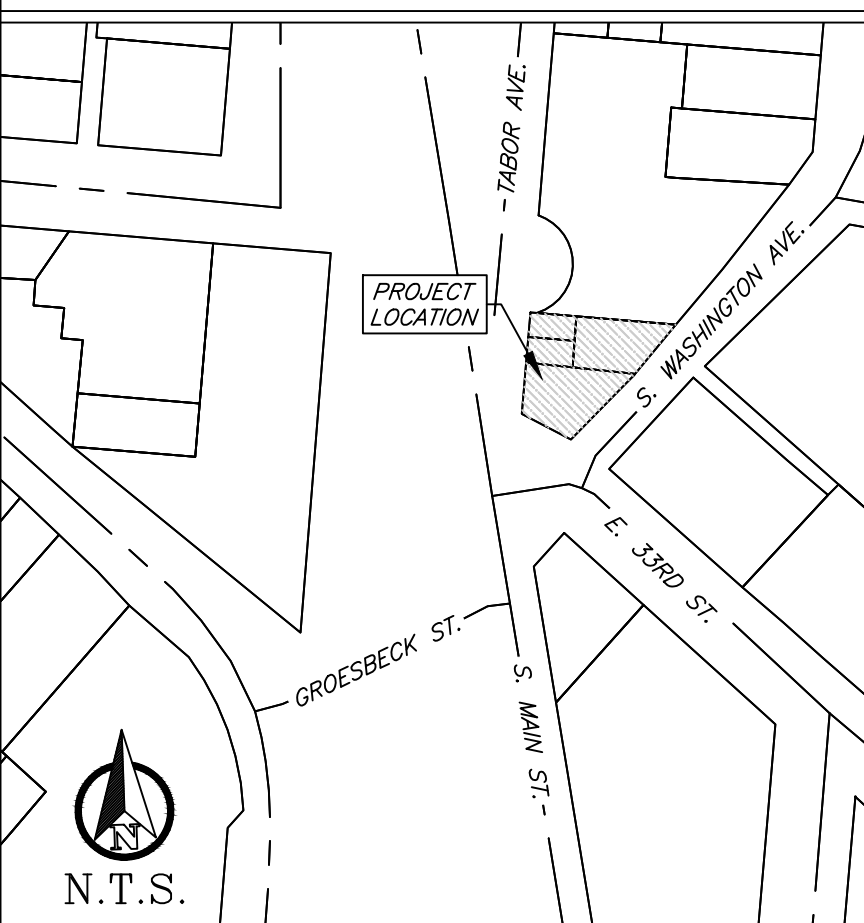
Symbol	Qty.	Common Name	Botanical Name	Size
	4	Elm, Ceder	Ulmus crassifolia	>3" cal.
	16	Shore Juniper	Juniperus conferta	5 gal
	64	Maiden Grass	Miscanthus sinensis	5 gal

NOTES:
1. FENCE TO BE MAINTAINED AND REPAIRED AS NEEDED DURING CONSTRUCTION.
2. NO CONSTRUCTION TRAFFIC, GRAZING, STORAGE OR WASTE DISPOSAL ALLOWED WITHIN THE FENCED AREA AROUND TREES!



TREE PROTECTION DETAIL
N.T.S.

Vicinity Map:



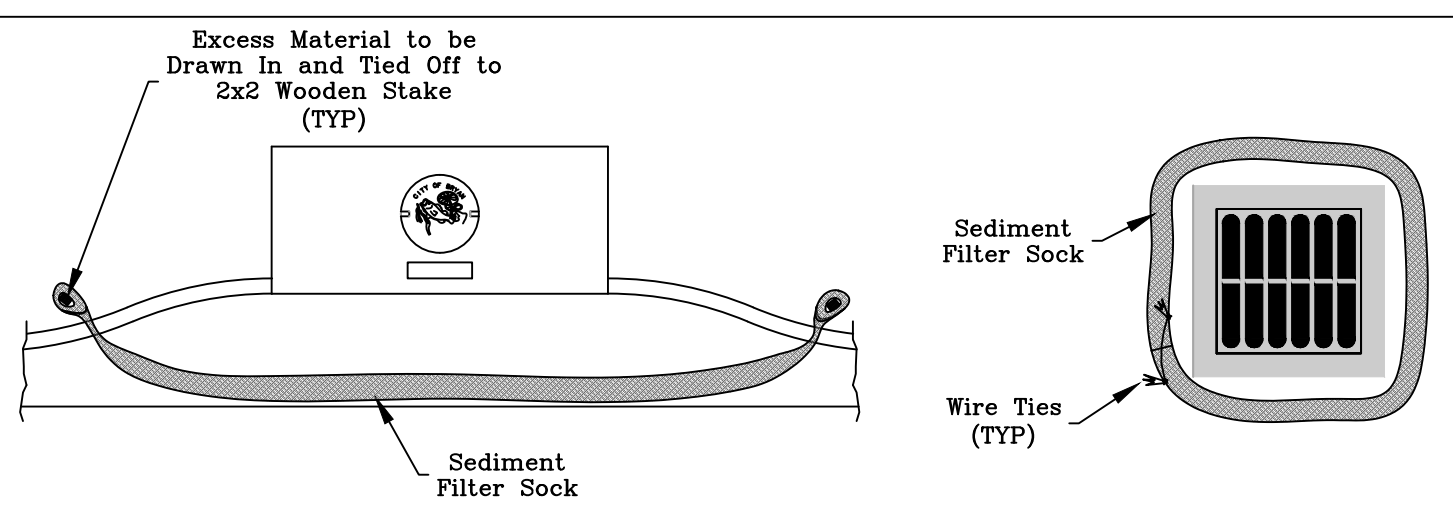
Site Specific Notes:

- The owner & developer of the property is NN Out Properties LLC. The subject property is 0.2007 AC of the S.M. Hunter's Re-Division.
- This lot is not within the 100-yr floodplain according to the DFIRM for Brazos County, Texas and Incorporated Areas, Map No. 48041C0215E, effective May 16, 2012.
- The Property is currently zoned Midtown-Corridor District (MT-C).
- The disturbed area for this project is 0.14 acres (8,312 sf).
- All minimum building setbacks shall be in accordance with the City of Bryan Code of Ordinances.
- All signage is to be permitted separately.
- Solid waste service shall be by 90-gallon can placed at the curb of S. Washington Ave.
- Where electric facilities are installed, BTU has the right to install, operate, relocate, construct, reconstruct, add to, maintain, inspect, patrol, enlarge, repair, remove and replace said facilities upon, over, under, and across the property included in the PUE, and the right of ingress and egress on property adjacent to the PUE to access electric facilities.

NOTICE!

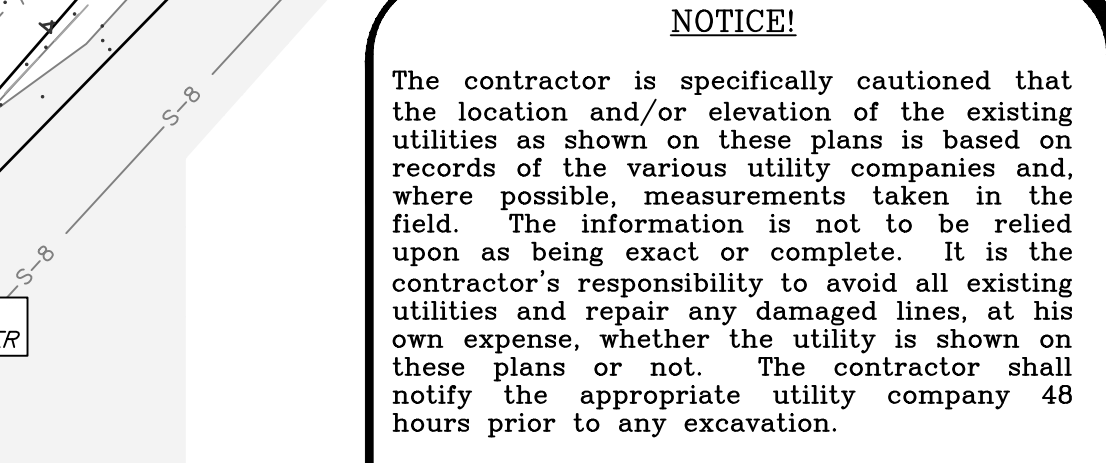
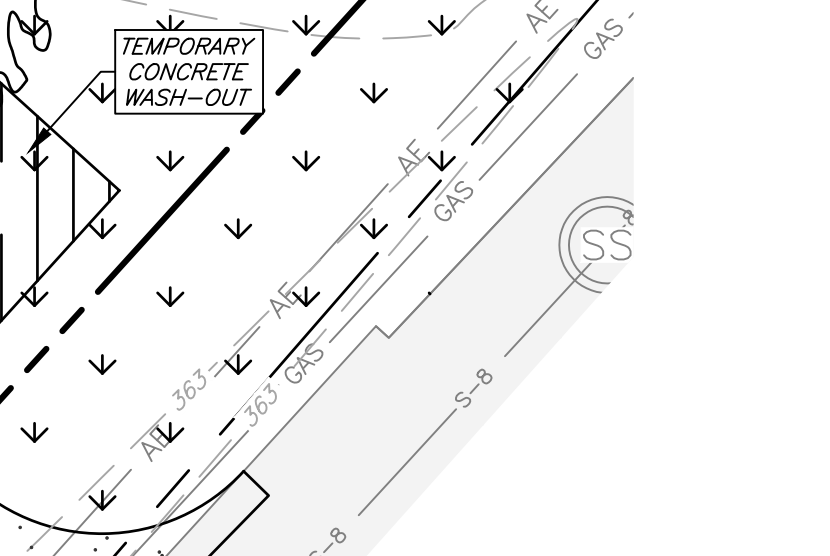
The contractor is specifically cautioned that the location and/or elevation of the existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied upon as being exact or complete. It is the contractor's responsibility to avoid all existing utilities and repair any damaged lines, at his own expense, whether the utility is shown on these plans or not. The contractor shall notify the appropriate utility company 48 hours prior to any excavation.

Contact Information:
 Texas One Call: 800-245-4545
 Lone Star One Call: 800-699-8344
 Texas Excavation Safety: 800-344-8377
 System (Digtest)
 COB Water Services: 979-209-5900
 Bryan Texas Utilities: 979-821-5865
 Atmos Energy: 979-774-2506
 Verizon: 979-821-4300
 Suddenlink: 979-846-2229

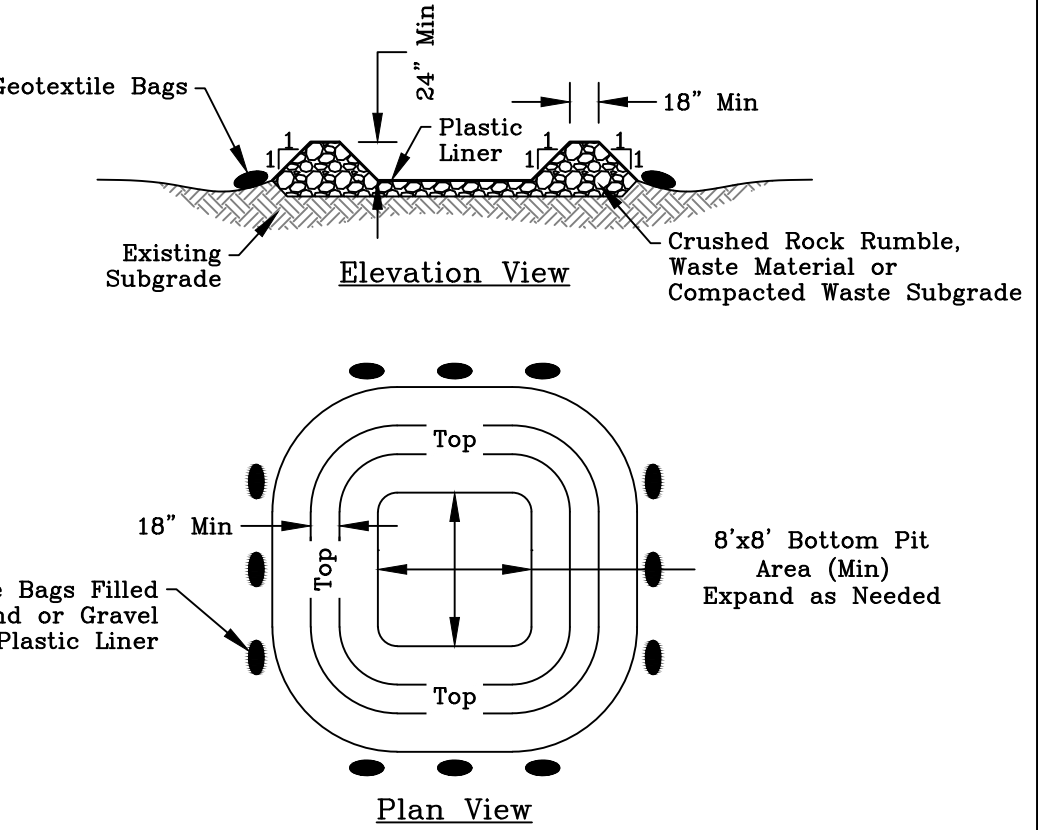


Note:
Temporary devices around storm drains are used to detain and/or filter sediment-laden runoff. The protection allows sediment to settle prior to discharge into a storm drain inlet of catch basin. Sand bags shall not be used.

Storm Drain Inlet Protection



Silt Fence
N.T.S.



Concrete Washout
N.T.S.

Site Plan

General Notes:

- The topography shown is from field survey data.
- Refer to Final Plat for all lot dimensions and bearings.
- All utilities shown are taken from the best available information based on construction utility documents obtained by J4 Engineering from City and Independent agencies and/or above ground field evidence. Shown positions may not represent as-built conditions.
- The contractor shall be responsible for verifying the exact location of all existing underground utilities, whether shown on these plans or not. Notification of the utility companies 48 hours in advance of construction is required.
- Contractor is responsible for field verifying existing and proposed grades prior to any construction and reporting any inconsistencies to the Owner.
- All construction shall be in accordance with the current Bryan Standard Specifications, Details, and Design Guidelines for Water, Sewer, Streets, and Drainage, unless otherwise noted.
- It is the intent of these plans to comply with all City of Bryan guidelines, details, & specifications.
- See Sheet C1 - General Notes

Owner/Developer:
NN Out Prop., LLC
105 Main Street
Bryan, TX 77802

Preliminary Plans Only
Not for Construction

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Released for Review

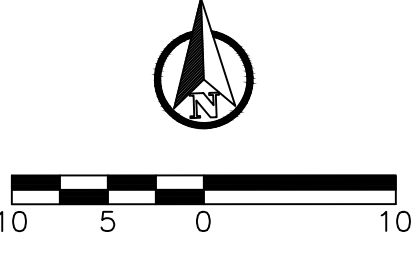
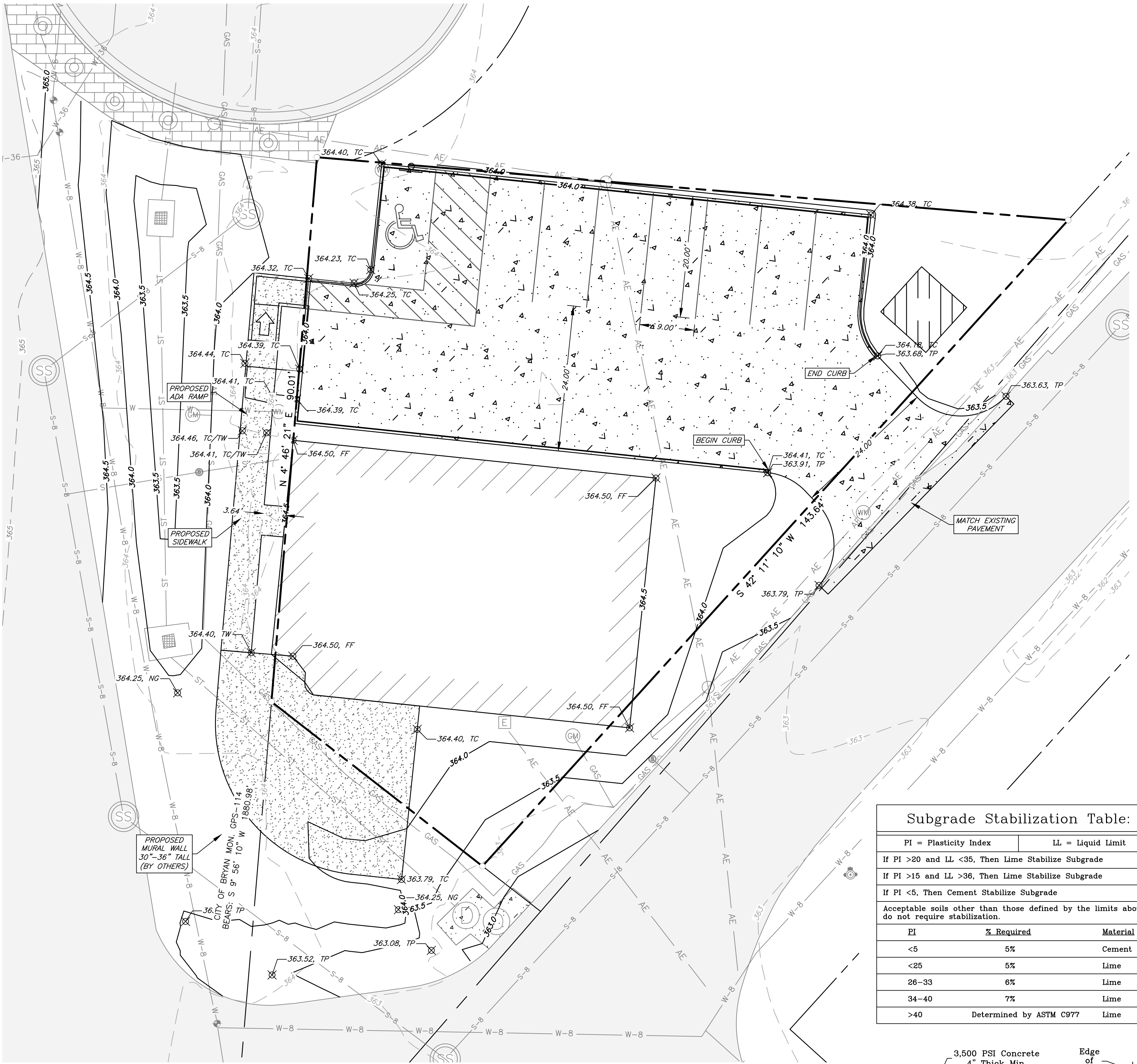
No.	Revision/Issue	Date

Firm Name and Address:

 PO Box 5192 - Bryan, Texas - 77805
 979-739-0567 www.J4Engineering.com
 Firm # 9951

Project Name and Address:
Piccino
 717 Main Street
 S.M. Hunter's Re-Division
 Block 1 Lot 13R
 0.2007 Acres
 Bryan, Brazos County, TX

Date: May 2022
 Scale: As Noted
 Sheet: C2



Legend

- Existing Concrete Pavement
- Existing HMAC Pavement
- Proposed 6" Concrete Pavement
- Proposed 4" Concrete Sidewalk

PVMT Expansion Joint Detail

N.T.S.

Seal w/ joint material
Smooth dowel bar 1/2" dia. x 18" o.c. (coated w/heavy grease)
3/4"
Per Plan
Non-extruding joint filler
Metal or plastic cap, inside diameter to be 1/16" greater than diameter of dowel bar

- Note:
- Expansion joint sealant to be Sonoborn SL-1 or approved equal.
 - Expansion joints shall be spaced at 45' maximum intervals.

PVMT Contraction Joint Detail

N.T.S.

Saw cut or formed joint
1/8" to 3/8" wide, 3/4" deep
PER PLAN

- Note:
- Contraction joints shall be spaced at 15' maximum intervals.

Typical Concrete Paving Section

N.T.S.

Steel Reinforcing Bars
Concrete Pavement
8" Lime Stabilized Subgrade to Extend 2' outside the Edge of Pmt

- X= as Shown on the Plan.
- 6" Pavement - use #4 rebar @ 12" O.C.E.W.

Sidewalk Expansion Joint Detail

N.T.S.

Seal w/ Joint Material
Smooth Dowel Bar
3/4"
Non-Extruding Joint Filler
Metal or plastic cap, inside diameter to be 1/16" greater than diameter of dowel bar

Sidewalk Contraction Joint Detail

N.T.S.

Light Broom Finish Joints to be Tooled 1/4" to 1/2" Deep

- Sidewalk Note:
- Sidewalk joint sealant to be Sonoborn SL-1 or approved equal.
 - Sidewalk expansion joints shall be spaced at 60' maximum intervals.
 - Sidewalk contraction joints shall be spaced at a maximum interval equal to the sidewalks width.

Typical Sidewalk

N.T.S.

3,500 PSI Concrete 4" Thick Min.
Edge of Bldg.
Per Plans
2% Max Slope
Natural Ground or Pavement
#3 Bars @ 12" O.C.E.W.

Subgrade Stabilization Table:

PI = Plasticity Index	LL = Liquid Limit	
If PI >20 and LL <35, Then Lime Stabilize Subgrade		
If PI >15 and LL >36, Then Lime Stabilize Subgrade		
If PI <5, Then Cement Stabilize Subgrade		
Acceptable soils other than those defined by the limits above, do not require stabilization.		
PI	% Required	Material
<5	5%	Cement
<25	5%	Lime
26-33	6%	Lime
34-40	7%	Lime
>40	Determined by ASTM C977	

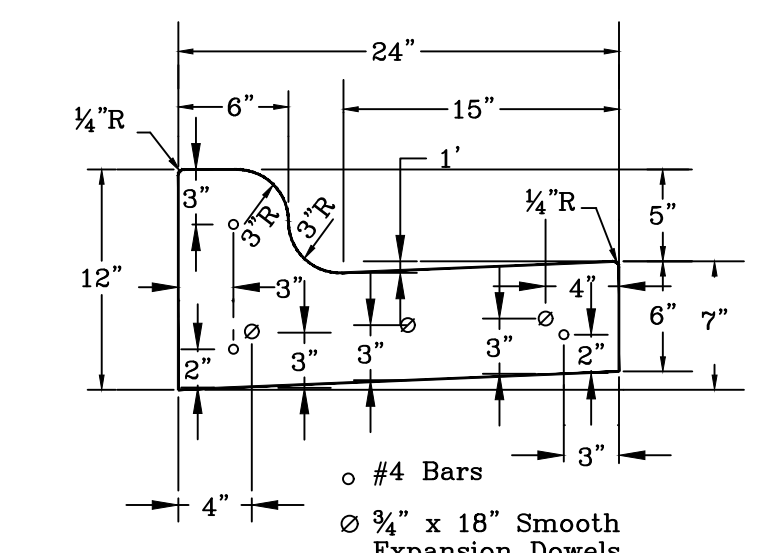
- Note:
- Install expansion joints at 40' (max) longitudinal spacing and install control joints at 5' (max) longitudinal spacing

Grading Notes:

- Fill material used to achieve grade in areas to receive pavement or within the street right-of-way shall be compacted to at least 98% of the maximum dry density as determined by the standard proctor test, (ASTM D698), at a moisture content from optimum moisture content to 4% above the optimum moisture content. Areas outside of the street right-of-way shall be compacted to 95% of the maximum dry density.
- The subgrade beneath the concrete sidewalks shall be compacted and "proof-rolled". Any weak or soft areas identified by the "proof-rolling" shall be removed and replaced.
- ADA ramp slopes shall not exceed 1:12h.
- The topography shown is from field survey data.
- Structural backfill for utility or storm drain trenches is required whenever the trench is within 5' of pavement or sidewalk.
- The contractor shall follow the general intent of the grading plans. minor adjustments to the actual elevations shown on the grading plan may be required to match existing ground elevations and structures. the proposed contour lines shown are approximate only. the design grade spot elevations should be used for construction of the site work.
- Refer to pavement plan for pavement construction details and notes.
- The contractor shall salvage all topsoil and replace it on all disturbed areas. All parking lot islands and areas adjacent to parking and sidewalk areas shall receive 6" sandy loam topsoil prior to placement of grass sod or hydromulch.
- The contractor shall field verify and locate all existing utilities on site prior to demolition.
- The contractor shall install all erosion and sediment control devices, as shown on the Erosion Control Plan, prior to commencing demolition work.
- Should any existing utilities not shown or shown incorrectly on this plan be found on site, the contractor shall contact the design engineer immediately to discuss any possible conflicts before proceeding with any work in that area.
- All proposed rock rip rap shall be bedded with geo-textile fabric and recessed to match existing grades where storm water flow exits rip rap.

Paving Notes:

- Item 360 of the TxDOT "Standard Specifications for Construction and Maintenance of Highways, Street, & Bridges" shall be used as a technical specification for reinforced concrete pavement.
- See TxDOT permit for approved TxDOT concrete pavement structure.
- Subgrade shall be stabilized per the "Subgrade Stabilization Table" shown on this plan. The lime stabilized soil shall be mixed to provide a homogeneous mixture with a minimum pH of 12.4, and which meets the gradation requirements specified in the TxDOT Standard Specifications for Construction of Highways, Streets, and Bridges, Item 260. The lime stabilized soil shall be compacted to a density of at least 98% of the maximum dry density as determined by ASTM D698 at a moisture content from optimum moisture to 4% above optimum moisture content. The lime used to stabilize the soil shall meet the requirements of TxDOT Item 264, "Lime and Lime Slurry". The lime stabilized subgrade should extend a minimum of 12" outside the pavement.
- The subgrade beneath the concrete sidewalks shall be compacted and "proof-rolled". any weak or soft areas identified by the "proof-rolling" shall be removed and replaced.
- A sand leveling course under concrete pavement is NOT permitted.
- Joint sealant material to be Sonoborn SL-1 or approved equal.
- Curing compound shall be applied uniformly to the concrete after the surface finishing is complete at the rate recommended by the manufacturer. The curing compound shall meet the requirements of TxDOT Item 526.
- Contractor shall provide engineer with a proposed pavement expansion and contraction joint plan prior to pavement construction.
- Saw cut contraction joint shall be made within 24 hours of concrete placement.
- See Sheet C1-General Notes.



Driveway Raised Curb Detail

N.T.S.

Grading & Pavement Plan

General Notes:

- The topography shown is from field survey data.
- Refer to Final Plat for all lot dimensions and bearings.
- The contractor shall be responsible for verifying the exact location of all existing underground utilities, whether shown on these plans or not. Notification of the utility companies 48 hours in advance of construction is required.
- Contractor is responsible for field verifying existing and proposed grades prior to any construction and reporting any inconsistencies to the Owner.
- It is the intent of these plans to comply with all City of Bryan guidelines, details & specifications.
- See Sheet C1 - General Notes.

FF - Finished Floor
FL - Flow Line
NG - Natural Ground
TC - Top of Curb
TP - Top of Pavement
TW - Top of Wall
TW - Top of Sidewalk

Preliminary Plans Only Not for Construction

This document is released for the purpose of interim review under the authority of Glenn Jones, P.E. 97600 on May 04, 2022. It is not to be used for construction, bidding, or permitting purposes.

Released for Review

No.	Revision/Issue	Date

J4 Engineering

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Piccino

717 Main Street
S.M. Hunter's Re-Division
Block 1 Lot 13R
0.2007 Acres
Bryan, Brazos County, TX

Date: **May 2022**

Scale: **As Noted**

Sheet: **C3**